

Section 26.04 Allowable Building and Lot Uses

26.04 Table of Allowable Uses

Table 26.04 below establishes the uses that are permitted by right (■) and by special exception (SE) in the Form-Based Zone (FBZ). Within Frontage Zones as indicated on Map 26.01, certain uses denoted by a (GFL) on Table 26.04 are allowed above the ground floor only, with the exception that uses denoted by a (GFL) may occur on the first floor in the rear portion of such a building only when, at a minimum, the first forty (40) feet of ground floor building space fronting on a Primary Street (including Broad Street and Green Manor Blvd) is occupied by a permitted principal ground floor use as illustrated in Figure 26.5 below. In this case a Primary Street entrance to the use or uses at the rear of the building is allowed. The PZC may grant an exception to this requirement under the Special Exception procedures and criteria in Section 26.09 - Administration.

Table 26.04 - Allowable Uses in the FBZ		
RESIDENTIAL USES	DISTRICT	FRONTAGE ZONE
Accessory Apartment Unit	■	■ GFL
<i>Functional Standards:</i>		
Live/Work Quarters (See Article 4, Section 21)	■	■ GFL
	Work activities shall not adversely impact the public health, safety, and welfare, or the livability, functioning, and appearance of adjacent property.	
<i>Functional Standards:</i>	Artist's Loft or Live/Work Unit may be used in combination with an Art Gallery (See definition and functional standards below).	
	The sale of products can only be made by the resident artist and include only products made on site unless classified as Arts & Craft Shop and an Art Gallery. A special exception is required for on-site sales if the designated sales space is not at ground level and accessible to the public directly from the sidewalk.	
Townhouse & Rowhouses (attached single-family dwelling)	■	■ GFL
	Access - Only one direct vehicular access from the street on which the development is fronting will be allowed to service all dwelling units attached. In no case shall a driveway serve less than three (3) attached dwelling units. All driveways serving townhouses shall be privately owned and maintained.	
<i>Functional Standards:</i>	Connected Units - Each townhouse or rowhouse project shall consist of buildings of connected units. There shall be at least three (3), and no more than nine (9), connected units in each building.	
	Yards - Each townhouse lot shall include a private yard meeting the minimum district requirements for open space. Street Yards shall be enclosed with a semi-opaque fence and properly landscaped in accordance with Section 26.08.08. Side and rear yards shall be enclosed by a wall or solid fence, not less than six (6) feet in height, along the side and rear lot lines where private yards adjoin and where public or private streets adjoin.	

26.03.03 Table of Site and Building Dimensional Standards

Table 26.03 establishes the lot, bulk, height, and setback ranges and requirements for the Form-Based Zone. The table provides dimensional requirements that apply to all designated lot types.

Table 26.03 - Building Lot Dimensional Standards									
Building Lot Type	Lot Area	Lot Width	Frontage Occupation	Lot Coverage	Yards ⁽¹⁾			Height ⁽⁴⁾	
					Street	Side ⁽²⁾		Rear ⁽³⁾	Min. / Max. in Stories ⁽⁵⁾
						Min.	Max.		
	Min. / Max.	Min. / Max.	Min.	Max.	Min. / Max.			Min.	
	(in Sq. Ft.)	(in Linear Ft.)	(Percentage)	(by all buildings)	(in Feet)	(in Feet)		(in Feet)	(Max. in Feet)
Liner Building Lot (LBL)	No Min. / No Max.	No Min. / 250	75%	100%	5/20	0		0	1/4 - 48' ⁽⁷⁾
Mixed-Use Building Lot (MUBL)	No Min. / No Max.	No Min. / 250	75%	100%	5/20	0		0	1/4 - 48'
Multiple Residence Building Lot (MRBL)	4,000 / No Max.	No Min. / 250	75%	100%	5/20	0		0	2/5 - 65' ⁽⁶⁾
Live-Work Building Lot (LWL)	2,000 / 7,500	16 / 60	75%	80%	5/10	0		15	2/3 - 45'
Rowhouse Lot (RHLL)	2,000 / 4,000	16 / 32	75%	80%	5/10	0		15	2/3 - 45'
Civic Space and Building Lot (CSBL)	No Min. / No Max.	No Min. / No Max.	N/A ⁽⁶⁾	N/A	N/A	N/A		N/A	1/2 - 36'

(1) See Section 26.03.02 for Uses of Yards and Setbacks

(2) One side yard must be 10 feet minimum; the opposite side yard may be 0 feet if the adjacent lot provides a maintenance easement, otherwise the opposite side yard must be 3 feet minimum.

(3) Minimum rear yards apply to lots with alleys or side streets and to lots with neither alleys nor side streets; rear yards do not apply to through lots or to double-frontage lots; Minimum rear yards in this column apply to principal buildings. When alleys or side streets are provided, garages must have one wall constructed to maintain a 3 feet rear yard (minimum and maximum).

(4) Buildings must comply with both maximum heights, as measured in stories and in feet; One (1) story buildings must have a minimum front elevation of 18 feet; (Mezzanines that exceed the percentage of floor area for a mezzanine defined in the Connecticut Building Code are counted as a story for the purpose of measuring height.) Space within a roofline that is entirely non-habitable is not counted as a story.

(5) Above the third story, buildings must be setback or stepped back from all Primary Streets in accordance with the requirements of Section 26.05.03.1.2.

(6) N/A = Not Applicable

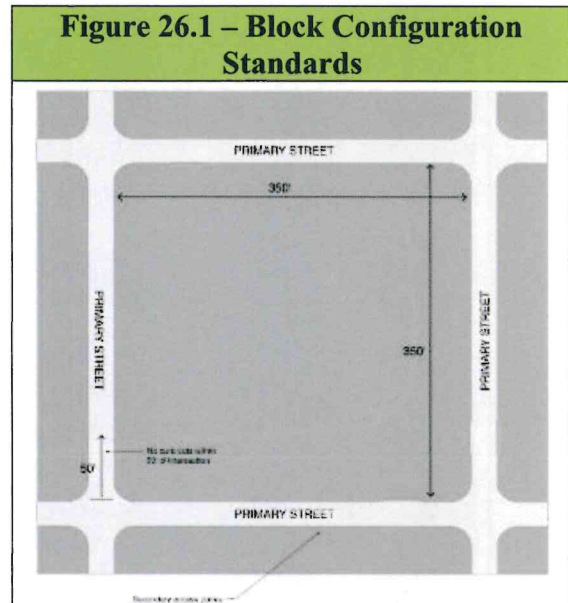
(7) One (1) story commercial liner buildings must have a front façade elevation of at least 18 feet facing the street yard.

Section 26.02 Blocks and Street Types

26.02.01 Block Development Standards

All development proposals that create new streets and/or blocks shall be designed to the following standards:

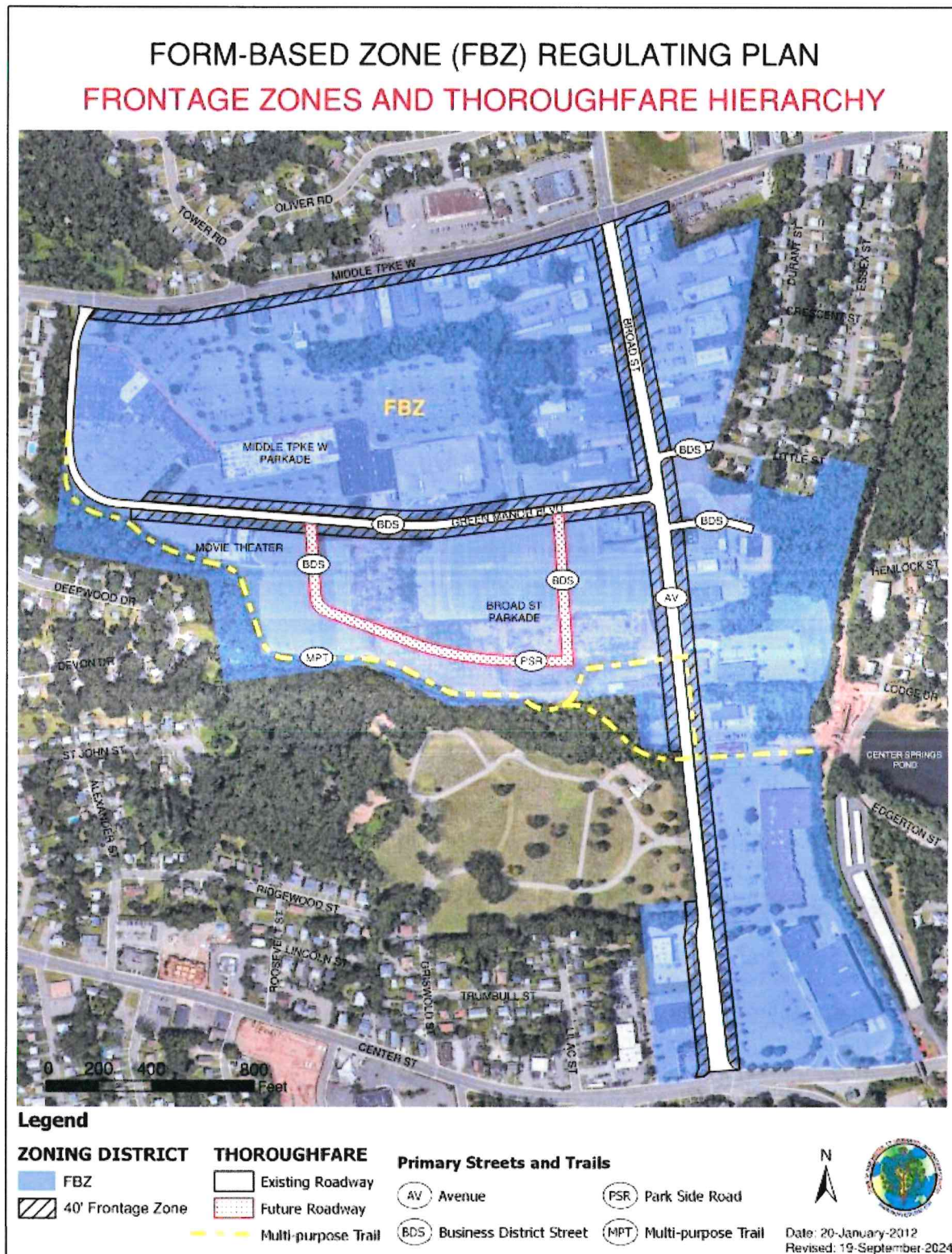
- A. The length, width and shape of blocks shall be designed to provide convenient and safe circulation and access for pedestrians and vehicles. Smaller blocks are encouraged to promote walkability.
- B. Block perimeters shall not exceed 1,400 linear feet as measured along the inner edges of each street right-of-way. The typical block face dimension shall not exceed 350 feet by 350 feet and should be repeated throughout the FBZ when possible. Block face may exceed the limit up to 600 feet and the block perimeter may exceed the limit, up to a maximum of 2,000 linear feet, only if one or more of the following conditions apply: the block has at least one block face on a primary street; or the block contains valuable natural features that should not be crossed by a street.
- C. Blocks shall feature mid-block side streets or alleys as prescribed in Section 26.02.02 below.
- D. A block grid design in the FBZ is required with new development to enhance connectivity, distribution, and the pedestrian experience. However, waivers may be granted by the PZC under Section 26.09 - Administration.



26.02.02 Street and Thoroughfare Types

- A. Thoroughfare Types and Location - Specific street and thoroughfare types are allowed within the district as identified on Map 26.01 - Regulating Plan. The alignment of streets and thoroughfares identified on Map 26.01 are approximate and may be realigned on a development site plan. Table 26.01 indicates the thoroughfare types existing and/or permitted in the FBZ. These thoroughfares must comply with the thoroughfare design standards in Figure 26.2.

Map 26.01 - FORM-BASED ZONE REGULATING PLAN³



³ Revised 10/7/24, effective 10/21/24

paper copies, signed and sealed by the design professional, of the amended plan. Any change to an approved Detailed Plan or a previously certified Erosion and Sediment Control Plan⁹ which is not considered to be a minor change by the chairman or director shall be processed as a formal modification to the approved Detailed Plan or previously certified Erosion and Sediment Control Plan¹⁰ and shall require the preparation of modified plans and the approval of the Commission.

⁹ Rev. 04/16/18, effective 05/03/18

¹⁰ Rev. 04/16/18, effective 05/03/18

Sedimentation Control dated 2002, as amended, and shall contain the following certification signature block:⁶

<p>"The Planning and Zoning Commission certifies that the Soil and Erosion and Sedimentation Control Plan complies with the requirements of the Town of Manchester Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended".</p> <p>Signature _____</p> <p>Date of Approval _____</p>
--

4.07 Electronic Submittal Requirement

Electronic copies of Detailed Plans shall be submitted in accordance with the "Town of Manchester, CT Geographic Information System, Policies and Rate Schedules" as adopted by the Board of Directors, January 21, 2003, and as amended.

4.08 Minor Modifications to Approved Plans⁷

Minor changes to an approved Detailed Plan or a previously certified Erosion and Sediment Control Plan⁸ may be made with the concurrence of the chairman of the Planning and Zoning Commission and the Director of Planning, provided such changes shall in no way affect the overall layout or design of the site development plan or building architecture. Such minor changes may include, but are not limited to, the relocation of sidewalks, driveways, and other such physical improvements due to unforeseen topographical or surface or subsurface geological features; siting and screening of trash disposal and mechanical facilities; slight alterations of finished contours; minor rearrangement of lighting fixtures, benches, and other incidental street furniture, minor landscaping changes, location or relocation of accessory structures when not visible from the street, landscaping and minor exterior building elevation changes. A letter or narrative describing and justifying the need for the minor changes and plans calling out the minor changes must be provided for consideration by the chairman and director. Following approval of a minor revision, the applicant shall submit within ten days one Mylar copy and four

⁶ Rev. 05/20/19, effective 06/07/19

⁷ Rev. 09/29/16, effective 10/21/16

⁸ Rev. 04/16/18, effective 05/03/18

- g) A parking table showing the proposed uses, parking requirement, shared parking and parking calculations used to determine the proposed number of spaces.
 - h) Designated loading and parking areas.
 - i) A table showing the total site acreage and the percentage of land devoted to various types of civic or open space.
2. Other relevant information the applicant may wish to submit or the Commission or Planning Director may require to perform a thorough review and evaluation of the application.

4.06 Erosion and Sediment Control Plan

Erosion and Sediment Control Plan shall be prepared in accordance with Connecticut Guidelines for Soil Erosion and Sediment Control (2002) as amended.

1. Said plan shall contain, but not be limited to:
- A narrative describing:
- 1) The development;
 - 2) The schedule for grading and construction activities, including
 - (a) Start and completion dates;
 - (b) Sequence of grading and construction activities;
 - (c) Sequence for installation and/or application of soil erosion and sediment control measures;
 - (d) Sequence for final stabilization of the project site.
 - 3) The design criteria for proposed soil erosion and sediment control measures and stormwater management facilities.
 - 4) The construction details for proposed soil erosion and sediment control measures and stormwater management facilities.
 - 5) The installation and/or application procedures for proposed soil erosion and sediment control measures and stormwater management facilities.
 - 6) The operations and maintenance program for proposed soil erosion and sediment control measures and stormwater management facilities.
 - 7) Any other information deemed necessary and appropriate by the applicant or requested by the Commission or its designated agent.
2. Soil erosion and sedimentation control plans shall bear the stamp and/or signature of a registered engineer, landscape architect, or certified soil scientist and shall include a statement certifying that the plan is in compliance with the Town of Manchester Soil Erosion and Sedimentation Control Regulations and the Connecticut Guidelines for Soil Erosion and

system. For drive through facilities traffic impact analyses shall describe peak hours of operation, volume of customers per hour, stacking lane length needed for the anticipated volume of drive through vehicles, turning movements, roadway capacity and level of service on adjacent streets.

- b) The proposed general system of utilities (including domestic water supply, fire protection, stormwater drainage, and sanitary sewer). A statement on the projected impact of the project on public water supply, drainage and sanitary sewer systems. The proposed location of major storm drainage culverts and drainage basins serving the site shall be indicated.

2. The Detailed Plan will also show:

- a) A table of ratios indicating parking, floor area ratios, distance between buildings and lot lines, the distance between buildings, building heights, total landscaped area and parking lot landscaped area;
- b) A Building Plan indicating:
 - (1) Floor plan for each building;
 - (2) Exterior building elevations showing the building finish materials and colors.
 - (3) A table indicating building height and roof style of all buildings on abutting properties.

3. Such other relevant information as the applicant may wish to submit or the Commission may require.

4.05.07 Form Based Zone (FBZ)⁵

1. The Detailed Plan will also show:

- a) The proposed thoroughfares labeled by thoroughfare type.
- b) All proposed building types and lot layouts by location.
- c) The proposed use of yards and setbacks.
- d) Location of all frontage zones and ground floor limitations.
- e) Proposed building elevations and architectural features including awnings, turrets, towers, porches, fenestration and transparency, roof types, building height, and proposed exterior materials.
- f) The location and type of proposed open space and civic spaces.

⁵New 03/19/12, Effective 03/30/12

Table 26.04 - Allowable Uses in the FBZ

		DISTRICT	FRONTAGE ZONE
		<p><u>Design Standards</u> - Changes in plane and height, and the inclusion of elements such as balconies, porches, arcades, dormers, and cross gables shall be integrated into the design to enhance aesthetic qualities. Variations in wall and rooflines shall be used to reduce the massing of buildings. Roof features shall be in scale with the building's mass and complement the character of adjoining and/or adjacent buildings and neighborhoods.</p>	
Multi-Residence Building		<p>■ GFSE</p> <p><u>Dwelling Types</u> – Multi-residence buildings in the FBZ may include a variety of different building types and dwelling forms</p> <p><u>On-Site Services</u> – Retirement, assisted living, congregate housing, graduated care and similar facilities may include the provision of services such as meal services, transportation, housekeeping, personal care, or health care. A Co-housing ownership building may have common kitchen, work space, recreational, and public gathering spaces available to residents.</p> <p><u>Lot Size</u> - The minimum lot area shall be 12,000 sq. ft. or 1,000 sq. ft. multiplied by the number of sleeping rooms, whichever is greater.</p> <p><u>Unit Variation</u> - No more than 70% of the total number of dwelling units shall be of any one type as defined by the number of bedrooms.</p> <p><u>Building Space</u> - Each building shall be separated from other such buildings by a minimum of twenty (20) feet, and have no fewer than three (3) dwelling units.</p> <p><u>Setbacks</u> - A perimeter green space of not less than ten (10) feet in width shall be provided, such space to be planted and maintained as green area and to be broken only by a driveway and/or entry walk.</p> <p><u>Open Space</u> - Landscaped or natural open space areas shall include: a) those portions of the lot devoted to plantings, including lawns and grass areas, and b) wooded land, and pedestrian-oriented paved or unpaved areas devoted to social or recreational use in common by the residents of the building or complex provided that such areas are kept essentially open to the out-of-doors and are at ground level.</p>	
Mixed-Use Building		<p>■</p> <p><u>Residential Access</u> - There shall be no dwelling units, nor portions thereof other than entries thereto as required, on the first floor in Frontage Zones without Special Exception approval. No more than ten percent (10%) of the gross floor area on the first floor shall be associated with or incidental to, whether for storage or other purposes, the residential uses on upper floors. Residential uses are permitted on the ground floor outside the Frontage Zone in accordance with the requirements of Section 26.04.02.</p> <p><u>Percent of Uses</u> - New construction must include at least 33% residential uses of total square footage and a minimum of a two (2)-story building.</p>	<p>■</p>
LODGING			
Hotel		SE	SE
	<i>Functional Standards:</i>	<p><u>Secondary Uses</u> - Hotels may include a restaurant along with guest-related retail and consumer services as accessory uses. Convention or Conference Centers may be accessory to Hotels.</p>	
Inn (up to 12 rooms)		SE	SE

Table 26.04 - Allowable Uses in the FBZ		
	DISTRICT	FRONTAGE ZONE
<i>Functional Standards:</i>	The PZC may allow a restaurant as a second principal use, along with lodging related consumer services as accessory uses, under a special exception for an Inn.	
OFFICE USES		
Back Office Business or Professional Support Services	■	■
Clinic, Dental or Medical	■	■
<i>Functional Standards:</i>	Sales - The sale of merchandise is allowed as an accessory use.	
Professional Office	■	■
INSTITUTIONAL AND PUBLIC USES		
Adult Day Care Center	SE	SE-GFL
<i>Functional Standards:</i>	In accordance with Article IV, Section 18	
Child Care Centers & Group Child Care Homes not located in a residence ⁷	SE	SE-GFL
Educational Institutions – General	SE	SE-GFL
<i>Functional Standards:</i>	In accordance with special requirements under Article II, Section 9.14.04	
Places of Worship	SE	?
<i>Functional Standards:</i>	In accordance with special requirements under Article II, Section 9.14.04	
Library	■	■
Public Recreational Facility	■	■
Fraternal or Social Organization, Lodge or Club	■	■
<i>Functional Standards:</i>	Membership - Operated for members or employees only, where the chief activity is one not customarily conducted as a gainful business.	
Government Administration Use or Building	■	■
<i>Functional Standards:</i>	Limitation of Uses - Only office and services allowed.	
Convention or Conference Center	■	■
Art Gallery	■	■
Museum	■	■
Performing Arts Facility	■	■
RETAIL BUSINESS AND CONSUMER SERVICE USES		
<i>Retail Establishments</i>		
Retail Store – up to 5,000 gross s. f.	■	■

⁷ Rev. 11/06/23, effective 11/27/23

Table 26.04 - Allowable Uses in the FBZ

		DISTRICT	FRONTAGE ZONE
	<i>Functional Standards:</i>	In the FBZ General Retail Stores shall exclude bulk retail sales, garden materials or equipment (for example, lumber, electrical and heating fixtures, plant nurseries); and motor vehicle retail or wholesale sales and related equipment sales, leasing, rental, or repair.	
Retail Store – Greater than 5,000 gross s. f.		SE	SE
	<i>Functional Standards:</i>	Same as above	
Arts & Crafts Store		■	■
	<i>Functional Standards:</i>	All work and storage to be conducted within a building.	
Convenience Store		■	■
	<i>Functional Standards:</i>	May be used in combination with gas stations where permitted. (See below) Illumination of the store shall be limited to hours of operation, except for purposes of security. For the sale of prepared and packaged food or beverage. Display & sales to be primarily conducted within the building.	
Personal Care Services			
Personal Services Establishments		■	■
Laundry or dry-cleaning shop, or self-service dry-cleaning or laundry		SE	SE
	<i>Functional Standards:</i>	Laundry and dry-cleaning shop where laundry is cleaned and processed off-site and not within the FBZ.	
Food Services			
Restaurant, Cafes, Taverns, Grills or Similar Eating Places including those with shared kitchens		■	■
	<i>Functional Standards:</i>	No drive through facilities or services are permitted in the FBZ.	
Alcoholic Liquor Sales		■	■
General Food Service Store		■	■
Refreshment Stand		■	■
	<i>Functional Standards:</i>	A place where patrons can purchase snacks, refreshments or food at a cinema, fair, sporting or entertainment venue.	
Consumer Services			
Indoor Entertainment		■	■
	<i>Functional Standards:</i>	In the FBZ, Indoor Entertainment may include arcades, pool halls, dance clubs, night clubs, movie theaters, live performance venues, and similar uses as determined by the PZC.	
	<i>Functional Standards:</i>	Permitted only if determined to be compatible with the intent of said district and the uses allowable therein.	
Private Recreational Facility		■	■
	<i>Functional Standards:</i>	Any structure shall be solely accessory to the operation of the outdoor recreation activities.	
Radio & Television Broadcasting Studio		■	■
General Repair Services		■	■

Table 26.04 - Allowable Uses in the FBZ			
	DISTRICT	FRONTAGE ZONE	
<i>Functional Standards:</i>	All work and storage to be conducted within a building.		
Financial & Real Estate Services	■		■
<i>Functional Standards:</i>	Drive-Thru ATMs are not permitted in the FBZ District.		
INDUSTRIAL TRADES AND RESEARCH USES			
Trade School	SE		SE-GFL
Trade Services	SE		SE-GFL
<i>Functional Standards:</i>	All trade shop operations shall undertake all reasonable measures to prevent noise, vibration, dust, fumes or odors from creating a disturbance or nuisance beyond the limits of the establishment. No operations shall be allowed which are hazardous by reason of potential fire, explosion, radiation, or similar hazard.		
Research and Development Facility	SE		SE-GFL
<i>Functional Standards:</i>	The PZC may grant a Special Exception for a research and development use, provided that it consists only of office or similar uses.		
	All storage of materials and equipment shall be indoors and screened from public view. No operation shall create noise, vibration, dust, fumes, or odors that are a nuisance beyond the lot line, and further no operations shall be hazardous by reasons of potential fire, explosion, or radiation. No research or testing to be conducted outdoors unless a special exception is granted for this purpose.		
MOTOR VEHICLE RELATED USES			
Packaging & Delivery Services	■		■
<i>Functional Standards:</i>	It shall not include the bulk storage of parcels on-site but may include the sale of ancillary goods typically used in the packaging and shipping of parcels.		
Automated Banking Facility (ATM)	■		■?
<i>Functional Standards:</i>	Walk-up ATM machines are permitted in all Frontage Zones by Special Exception.		
	Banks allowed as a primary use may seek a special exception from the PZC to construct and operate a drive-through window. No drive-through windows shall be permitted in a Frontage Zone.		
EXTENSIVE AND ACCESSORY USES			
Farmstand or Farmers Market	■		■
<i>Functional Standards:</i>	Allowed as an accessory use on all private lots and on public civic lots with permit from the Town.		
Public Parking Lot or Structure	■		■
<i>Functional Standards:</i>	See Section 26.07 - Off-Street Parking and Loading Standards		
Home Occupation	■		■
<i>Functional Standards:</i>	Permitted in apartment flats, condominium units, artist lofts, live/work units and rowhouses.		

Table 26.04 - Allowable Uses in the FBZ		
	DISTRICT	FRONTAGE ZONE
Family child care homes and Group child care homes located in a residence ⁸	■	■
Outdoor Theater	SE	SE
<i>Functional Standards:</i>	Permitted on publicly or privately owned civic lots	
Wireless Telecommunication Antennas	■	■
<i>Functional Standards:</i>	To be located on nonresidential buildings and camouflaged from view from all surrounding streets and driveways used by the general public together with associated equipment located within or on the roof of the principal or accessory buildings.	
	All facilities described above shall be in accordance with the requirements of Article IV, Section 19.	
Auction Gallery	SE	SE
Commercial Greenhouse, Indoor Agriculture including Horticulture, Hydroponics and Aquaponics	■	SE
Outdoor Entertainment ⁹	SE	SE
<i>Functional Standards:</i>	(a) To the extent possible, sound amplification and light equipment is oriented in a manner that directs the sound and light away from abutting properties, and buffering is provided to mitigate noise and light trespass; (b) Outdoor entertainment shall start no earlier than 11 AM and shall cease no later than 10 PM; (c) The Planning and Zoning Commission may impose additional requirements regarding buffering and days and hours of operation in cases when the site on which the outdoor entertainment is proposed is located within 200 feet of a residential property, place of worship, or school.	

Allowable Uses

■ = Permitted by Right

SE = Allowed by Special Exception from the PZC

Ground Floor Limitations

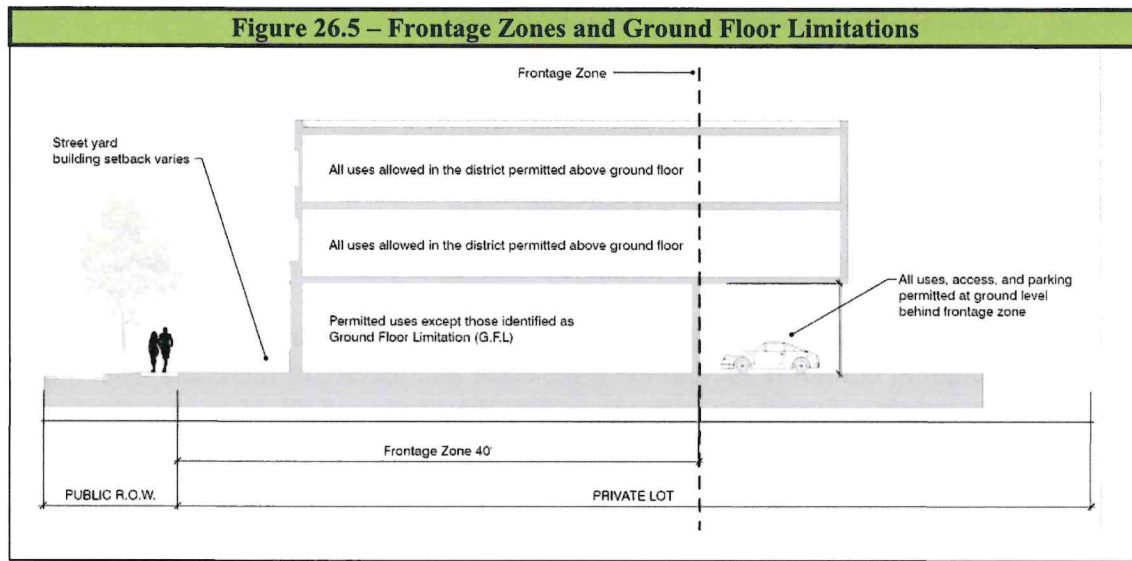
GFL = See Ground Floor Limitation required in Section 26.04.03

GFSE = Ground Floor use allowed by Special Exception from the PZC

⁸ New 11/06/23, effective 11/27/23⁹ New 02/13/17, effective 03/01/17

26.04.02 Frontage Zones

There are Frontage Zones shown on Map 26.01 Regulating Plan. Each Frontage Zone includes the contiguous land area along existing or new streets from the edge of the public right-of-way to a depth of 40 feet as illustrated on Figure 26.5 below. Within the Frontage Zones specific uses are permitted on the ground floor. Other uses are permitted but only above the ground floor (referred to as Ground Floor Limitations) as defined in Table 26.04 – Allowable Uses in the FBZ above.



26.04.03 Ground Floor Limitations (GFL)

Within FBZ Frontage Zones certain uses are denoted by a “GFL” on Table 26.04 - Allowable Uses. These uses shall not occupy the ground floor in the portion of a building within the forty (40) feet of lot depth measured from the public right-of-way on a Primary and Secondary Street. These uses may be located in the upper floors within the Frontage Zone and at ground level at more than 40 feet in lot depth and outside the Frontage Zone as illustrated in Figure 26.5 above. Street entrances may be allowed to GFL uses above the ground floor within the Frontage Zone or at the side or rear of the building beyond the Frontage Zone. The PZC may grant an exception to GFL use restrictions for those uses denoted by “GFSE” on Table 26.04.

26.04.04 Permitted Accessory Uses

- A. Live Entertainment and/or Dancing - Allowed as an accessory use to a full service food establishment, subject to the following:
 - 1) Food is served to customers at tables by waitpersons.
 - 2) Bar seats do not exceed 20% of total restaurant seats.
 - 3) Any dance floor area shall not exceed 500 sq. ft., or 10% of the floor area of the restaurant, whichever is less.
- B. Automated Teller Machines (ATM) – Automated banking facilities shall be in compliance with the requirements of Table 26.04 and Section 26.09 - Administration.

- C. Outdoor Seating and Dining Area – Allowed as an accessory use and in compliance with Section 26.03.02 - Uses of Yards and Setbacks.
- D. Other Accessory Uses - Accessory uses and structures not listed in Table 26.04 are regulated in the same manner as the Manchester zoning regulations would otherwise provide for each permitted use.

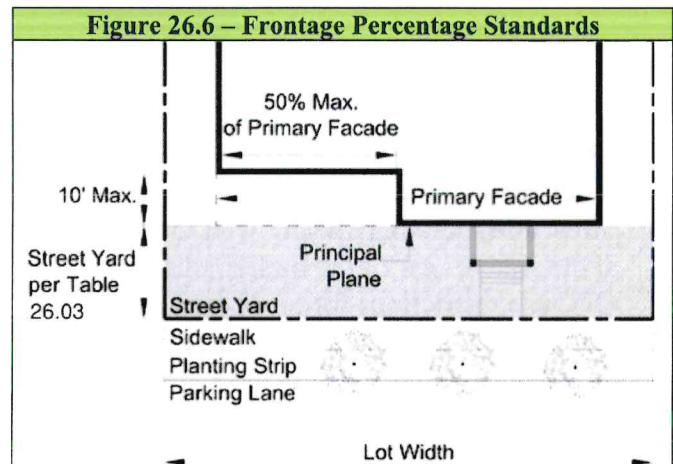
Section 26.05 Development Standards for Individual Lots and Buildings

26.05.01 General Development and Design Principles

This section is intended to guide development of site and building design. These principles and standards are intended to encourage creativity, invention or innovation. There is no official architectural or aesthetic style for a series of general development principles and standards that apply to all actions reviewable under this section.

26.05.02 General Lot Development Standards

- A. Appearance of a Development Lot - The character, layout and general composition of the lot, including but not limited to the type, color and texture of materials used in plantings, paving, lighting, furnishing, signage, utility structures and all other appurtenant elements should harmonize with the building design.
- B. Frontage Occupation Percentages - Frontage occupation percentage is the percentage of the width of a lot that is required to be occupied by its building's primary facade. Table 26.03 provides minimum frontage occupation percentages for each lot type.
 - 1) Up to 50% of the width of the primary facade shall be counted as meeting the frontage percentage requirement even though it may be set back up to 10 feet further from the street than the primary facade's principal plane.
 - 2) The location of the primary facade's principal plane is not changed by facade extensions such as bay windows, awnings, porches, balconies, stoops, colonnades, or arcades, or by upper stories that are set back further from the street.
 - 3) The width of a porte cochere shall be counted as part of the primary facade.



- C. Front or Side Driveways - A continuous network of rear and side alleys or side streets shall serve as the primary means of vehicular ingress to individual lots. If a rear alley is not provided, a front or side driveway is permitted to Residential Lot Types only, with the following restrictions:
- 1) Detached garages shall always be located in the rear of the lot. All walls of attached garages shall be at least 20 feet behind the principal plane of the house's primary facade.
 - 2) Garage doors shall face the side or the rear of the lot rather than the street yard. Where space does not permit a side- or rear-facing garage door, front-facing garage doors may be provided but each door shall not exceed 10 feet in width.
 - 3) Driveways shall serve as access to a minimum of three (3) dwelling units and may not exceed 12 feet in width except at the garage entrance.

26.05.03 General Building Development Standards

- A. Facade Length and Articulation - Buildings or portions of a building with front elevations of over 50 feet in width shall be divided into smaller parts through pronounced variation in wall plane articulation and materials and variations in the cornice/roofline to accomplish the desired divisions of elevations into smaller parts. Building articulations shall be 12 inches or more in depth, made through the use of facade divisions such as building jogs, architectural detailing, changes in surface materials, colors, textures and roof lines. Uninterrupted facades shall not exceed 50% of the building wall, and in no case shall an uninterrupted wall expanse exceed 120 feet in length. Ground floor facades that face public streets shall have galleries, display windows, entry areas, awnings, or other features along no less the 60% of their length. All facades visible from public streets shall feature characteristics similar to the front facade.
- B. Building Separation - Separation between adjoining buildings should be designed to allow for limited vehicle and pedestrian access to the rear.
- C. Building Entrances - Development and redevelopment shall include building facades that front on and have a principal pedestrian entrance on Primary Streets. The construction of any new buildings shall provide for the creation of pedestrian alleyways where appropriate in order to allow for passageways to parking at the rear of the lots and adjoining streets. The primary entrance of every building must directly face a street or a civic space, or a forecourt or garden.
- D. Incorporate Architectural Features - To create interesting buildings, architectural features and details such as porches, awnings, columns, towers, turrets, skylights and arches shall be used.
- E. Transparency - Transparency is the percentage of windows and doors that cover a ground or upper story facade. Door and window openings shall be proportional to facade length and height. The building design shall create a sense of entry into the site and into major businesses within the site through landscaping, facade treatment and signage. The specific transparency requirement for the front of buildings on each Lot and Building Type is included in the table below.

Table 26.05 – Front of Building Transparency Requirements in the FBZ

Building Lot Type	Ground Floor	Above Ground Floor
	(Min.)	(Min.)
Liner Building Lot (LBL)	40%	20%
Mixed-Use Building Lot (MUBL)	40%	20%
Multiple Residence Building Lot (MRBL)	20%	20%
Live-Work Building Lot (LWL)	40%	20%
Rowhouse Lot (RHL)	20%	20%
Civic Space and Building Lot (CSBL)	NA	NA

- 1) The transparency requirement on ground story facades is measured between 0 and 10 feet above the adjacent sidewalk.
 - 2) The transparency requirement on upper story facades is measured from the top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate.
 - 3) All new non-residential development shall provide ground floor windows along street facades, including windows that allow views into working areas or lobbies, pedestrian entrances, or display windows. Required windows shall have a sill no more than four (4) feet above grade. Where interior floor levels prohibit such placement, the sill shall be raised to no more than two (2) feet above the finished floor level, up to a maximum sill height of six (6) feet above grade.
 - 4) Street-fronting, street-level window pane surface area shall allow views into the ground story use for a depth of at least six feet. Windows must be clear, non-reflective and not painted or tinted (transparent, low-emissivity glass is permitted).
 - 5) Any wall within 30 feet of a Primary Street shall contain at least 20% of the ground floor wall area facing the street in display areas, windows, or doorways.
- F. Front Porches - Front porches may extend up to 10 feet into street yards provided they are at least 8 feet deep. Partial walls, screened areas, and railings on porches that extend into the street yard may be no higher than 42 inches. Porches must remain set back at least five (5) feet from a street right-of-way.
- G. Stoops - Stoops may extend into street yards provided their upper platform is no higher than 60 inches above the sidewalk. Partial walls and railings on stoops that extend into the front yard may be no higher than 42 inches. If requested during the site plan review process, stoops may extend into the right-of-way to the extent specifically provided by the PZC during the site plan approval process, based on its determination that sidewalk widths will be adequate to allow encroachment by stoops.
- H. Accessory Dwelling Units - Each Live-Work Building and Rowhouse Lot is permitted one accessory dwelling unit in addition to its principal building. Accessory dwelling units may not exceed 800 gross square feet and shall be located on the same lot as the principal building.

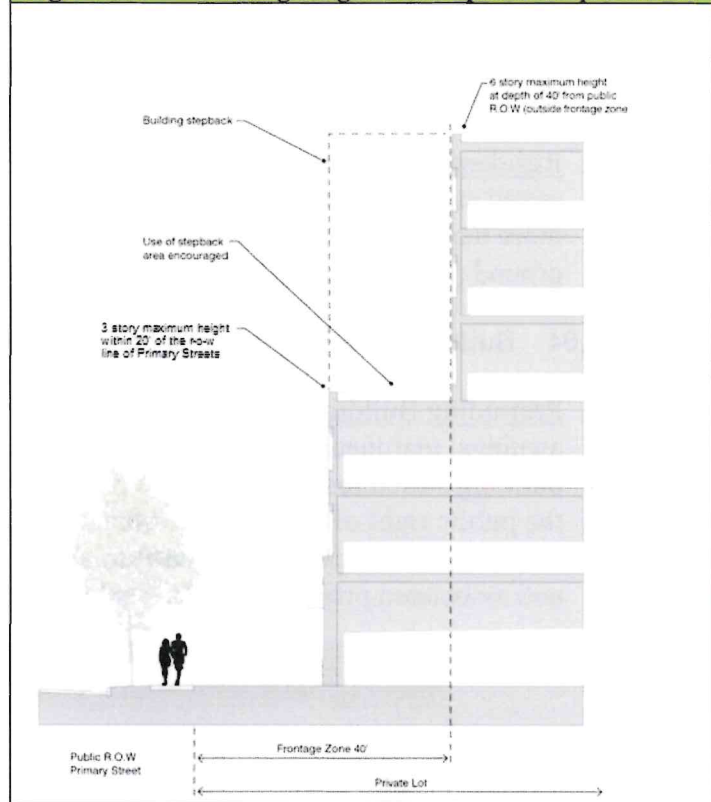
I. Building Height

- 1) Building height is measured as defined in Article I, Section 2 of the Zoning Regulations – Height of the Building. The height standards in this Section are intended to control the overall size and scale of new buildings in the FBZ.

New buildings may be constructed to a height as prescribed in Table 26.03 – Building Lot Dimensional standards. Where permitted, new and altered single story buildings shall provide façade improvements and front elevations that are at least eighteen (18) feet in height above street elevation and constructed in styles consistent with applicable Building Lot Standards in Section 26.03.

- 2) Building Height Stepback on Primary Streets - The maximum building height within 20 feet of the r-o-w line of Primary Streets shall not exceed 3 stories and 40 feet. The maximum height at the street line of the Primary Street may be increased by right to 44 feet when the roof pitch is 6 over 12 inches and the gable end of the building is not facing the street. (See Figure 26.7 to the right). The stepback portion of a building shall not be closer than 20 feet from any exterior wall elevation at ground elevation. Accessory uses are permitted on the rooftop area of the stepback portion of the building (i.e. rooftop gardens, dining areas, terraces, or similar uses).

Figure 26.7¹⁰ - Building Height and Stepback Requirements



- J. Roof Features - Long unbroken expanses of roofs shall be avoided though the use of dormers, skylights, chimneys and changes in ridge line.
- K. Roof Pitch - Flat roofs shall not be permitted for one story buildings unless the front elevation is at least 18 feet in height. Flat roofs combined with roof top amenities (green roofs and gardens, stormwater capture systems, outdoor accessory uses, etc.) are

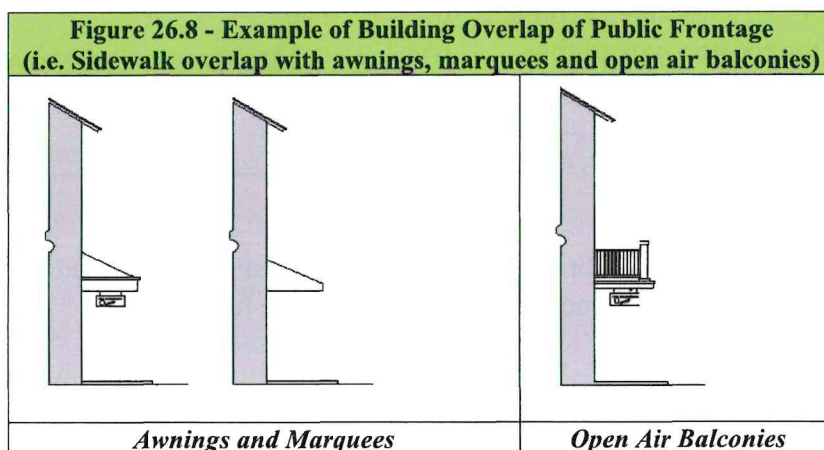
¹⁰ Revised 10/7/24, effective 10/21/24

encouraged for buildings greater than two stories. Pitched roofs shall have a 4 over 12 inch pitch or greater.¹¹

- L. Rooftop Equipment - Accessory rooftop equipment shall not extend more than eight (8) feet above the allowed building height provided it is set back from the exterior wall(s) by at least 10 feet, and is enclosed or screened by a parapet or with materials compatible with the building so as not to be visible from the ground. Accessory equipment shall not exceed 20% of the roof area. Where head house structures are necessary, they shall not exceed ten (10) feet in height, be setback from the exterior wall(s) by at least 10 feet, and shall not exceed 20% of the roof area.
- M. Ground Story Heights - The ground story of commercial and mixed-use buildings must be a minimum of 10 feet tall. The ground story of residential and live-work buildings must be a minimum of 8 feet tall. Each story above the ground story in commercial and residential buildings must be from 8 feet to 12 feet tall. Story heights are measured from the floor to the bottom of the lowest structural member that supports the story above.
- N. Residential Floor Heights - Residential buildings must have their first habitable floor raised at least 2½ feet above the adjacent sidewalk on a public street.¹² If the first floor is more than 5 feet above the adjacent sidewalk, the space below the first floor counts as the ground (first) story.

26.05.04 Building Overlaps onto Public Frontages

- A. Protruding Building Elements – Allowable protruding building elements include awnings, marquees, balconies, and projecting signs (See example in Figure 26.8). These building structures are allowed to protrude up to eight (8) feet past the property line into the public right of way provided that they are not in conflict with parking and travel lanes, and street trees and other furnishings. All awnings, marquees, open air balconies, and associated projecting signs shall be a minimum of eight (8) feet above the ground.



¹¹ Revised 10/7/24, effective 10/21/24

¹² Revised 10/7/24, effective 10/21/24

- B. Shading Of Sidewalks - Each building on a Mixed-Use or Live-Work Building Lot, and each building on a Liner Building Lot with non-residential uses on the ground story, shall be required to have awnings, balconies, colonnades, or arcades facing all streets. When providing a required awning, balcony, colonnade, or arcade, or one that extends over a street right-of-way, the following design requirements apply:
- 1) Awnings over ground-story doors or windows must have a depth of at least 5 feet and a clear height of at least 8 feet above the sidewalk. Awnings must extend over at least 25% of the width of each primary facade. Back-lit, high-gloss, or plasticized fabrics are prohibited.
 - 2) Balconies must have a clear height of at least 10 feet above the sidewalk. Balconies may have roofs but must be open toward the street.
 - 3) Galleries and arcades must have a clear width from their support columns to the building's primary facade of at least 8 feet and a clear height above the sidewalk of at least 10 feet. Support columns can be spaced no farther apart than they are tall. Galleries or arcades must extend over at least 75% of the width of each primary facade.
 - 4) Any of these features may extend into the street yard and over public sidewalks provided they maintain eight (8) feet of horizontal clearance from a parking lane or travel lane.

Section 26.06 – Public and Private Open Spaces

26.06.01 Purpose and Intent

Civic buildings and spaces such as community centers (various types), educational facilities, active and passive recreational venues, places of worship, and similar institutions are an important component of the mix of uses planned for the FBZ. It is the intent of this section to demonstrate how public and private open spaces should be integrated into development within the FBZ and connected to adjacent areas.

26.06.02 Allowed Types of Open Space


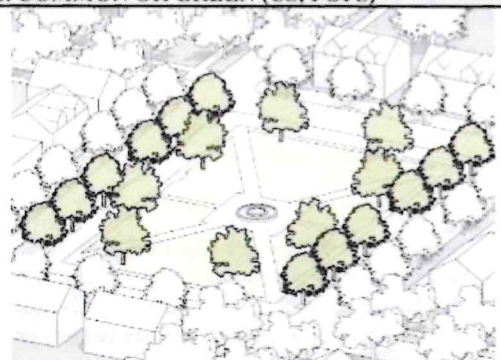
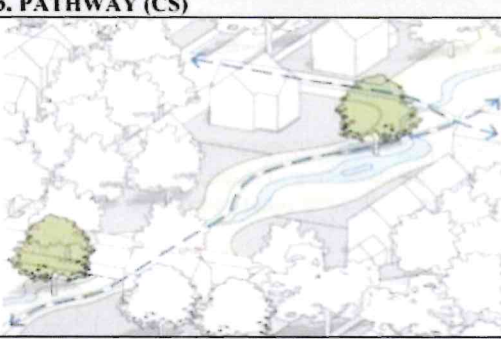

- A. Outdoor Amenity Space (OAS) Types – Permitted outdoor Amenity Spaces include the following types:
- 1) *Civic Space (CS)*: Civic Space includes public parks, active and passive recreation areas, civic buildings, and other gathering spaces that are fully available to the general public.
 - 2) *Publicly Oriented Private Space (POPS)*: Publicly Oriented Private Spaces are gathering spaces on private land primarily serving the residents, businesses and patrons of the principal building or development site, and generally available to the public.
 - 3) *Private Open Space (POS)*: Private Open Space is associated with individual dwelling units or businesses and is not intended for public access.

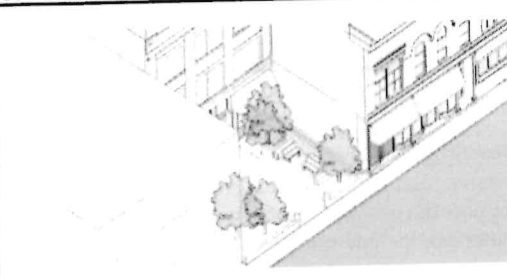

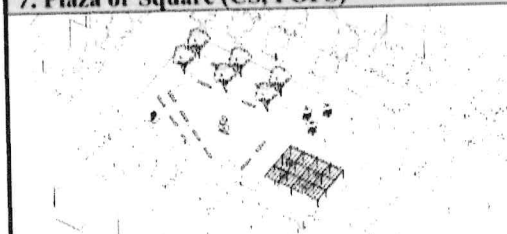
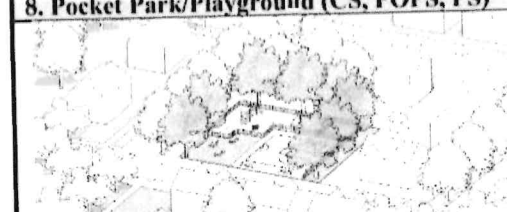
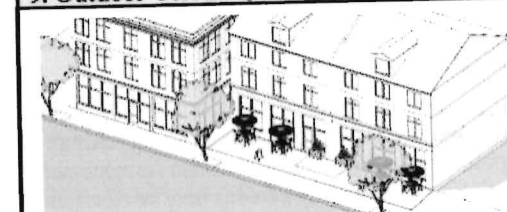
-
- B. Squares and Plazas Standards - Squares and plazas shall be located so that building walls facing the lot shall have at least 25% of the overall façade in transparent windows, and at least 40% of the ground floor façade in transparent windows.
 - C. Outdoor Amenity Space Design - Outdoor Amenity Spaces shall be designed, landscaped, and furnished to be consistent with the character of the neighborhood in which they are located. Outdoor Amenity Space types and design standards are illustrated in Figure 26.9.
 - 1) Civic Spaces and buildings shall be designed to physically express their prominence and community orientation.
 - 2) Civic buildings are sited adjoining or surrounded by Civic Spaces or they provide a visual landmark by being placed at the axial termination of a street (see Civic Building Lot diagrams in Figure 26.3).

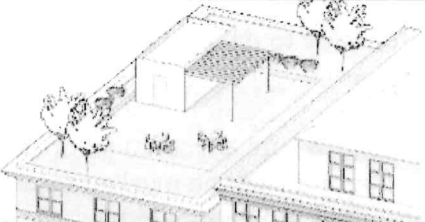

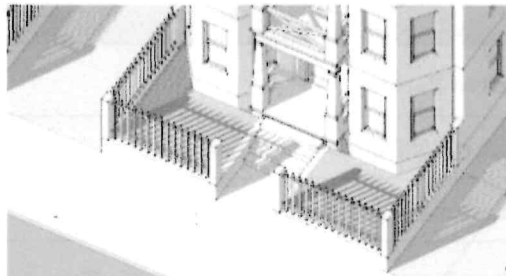
26.06.03 Open Space Requirements

- A. Individual property owners shall be required to dedicate 5% of their lot to Outdoor Amenity Spaces in one of the types identified in Figure 26.9. For commercial and mixed use lots, Outdoor Activity Zones located in the front and side setback areas are eligible types of Outdoor Amenity Spaces.
- B. Two or more property owners may create a joint Outdoor Amenity Space as long as the dedicated space is accessible to the public and amounts to a minimum of 5% of the land area of the all properties involved.

FIGURE 26.9 – OUTDOOR AMENITY SPACE TYPES (PUBLIC AND PRIVATE)

Outdoor Amenity Space Type	
1. NEIGHBORHOOD PARK, PRESERVE (CS, POPS)	
	<p>Description: An open space designed for active and passive recreation with features and facilities that support the community or immediate neighborhood. Parks can include other Outdoor Amenity Spaces such as community gardens, recreation fields and courts, trails and pathway, and other facilities intended for public events, gatherings, and organized activities.</p>
2. COMMON OR GREEN (CS, POPS)	
	<p>Description: A common or green is a free-standing site with thoroughfares on all sides and landscape consisting of naturally disposed lawns, paths, and trees. This open space type is for active and passive recreation and gathering purposes.</p>
3. PATHWAY (CS)	
	<p>Description: A linear open space that may follow natural corridors providing unstructured and limited amounts of structured recreation. A pathway may be spatially defined by segment and include access to pedestrians, bicyclists, and other designated modes of transportation. Pathways may provide access and connections between natural areas, neighborhoods, villages, public facilities, and other points of interest.</p>
4. COMMUNITY GARDEN (CS, POPS, PS)	
	<p>Description: An open space designed as individual garden plots available to residents for agriculture purposes, including storage facilities for necessary equipment. Community gardens may be freestanding or incorporated as a subordinate feature of a community park, neighborhood or pocket park, and development site.</p>

Outdoor Amenity Space Type	
5. FORECOURT (POPS, PS) 	<p><u>Description:</u> A private open space where a portion of the facade is aligned close to or at the Street ROW Line, and the central portion of the facade is set back to create a courtyard with a principal entrance at-grade and space for gathering and circulation, or for outdoor shopping or restaurant seating. The forecourt may be planted or paved to join with the public sidewalk.</p>
6. COURTYARD (POPS, PS) 	<p><u>Description:</u> A courtyard (or court) is an enclosed open space, often surrounded by a building or buildings, that is open to the sky. Courtyards may include a variety of passive recreational activities, community gardens, and other amenities for community gatherings.</p>
7. Plaza or Square (CS, POPS) 	<p><u>Description:</u> An open space type designed for passive recreation, civic purposes, and commercial activities, with landscape consisting primarily of hardscape. Plazas are generally located in activity centers or the nexus of major circulation routes.</p>
8. Pocket Park/Playground (CS, POPS, PS) 	<p><u>Description:</u> An open space type designed for passive recreation consisting of vegetation, a place to sit outdoors, and playground equipment.</p>
9. Outdoor Terrace (POPS) 	<p><u>Description:</u> An open space where the building facade is setback from the Street ROW Line and the space between is occupied by a hardscape intended for use as an extension of the public sidewalk and outdoor amenity space such as for outdoor seating or displays. The terrace provides may also allow for public circulation along the facade and can be used to provide at-grade access or a grade change along a Street Line.</p>

Outdoor Amenity Space Type	
10. Rooftop Terrace (POPS, PS)	
	Description: A roofless, raised platform on the roof of a building that provides community gathering space such as a terrace, community garden, food and entertainment, or other outdoor amenities.
11. Common Yard and Garden (PS)	
	Description: A private open space associated with private residence or non-residential buildings not intended for public access or a high level of pedestrian activity.
12. Dooryard	
	Description: A Private Frontage where the Building Facade is aligned close to the Street Line, and the Frontage Line is defined by a low wall, decorative fence or hedge providing a strong spatial definition from the public sidewalk. The result is a small semi-private dooryard containing the principal entrance in the front yard. The dooryard may be slightly raised, sunken, or at-grade, and may be planted or landscaped. A paved walkway from the sidewalk to the front door is required. This type is commonly associated with ground-floor residential use
13. Other OAS Types	
	May be permitted in Alternative Compliance

Section 26.07 - Off-Street Parking and Loading Standards

26.07.01 Purpose and Intent

This section is intended to provide accessible, attractive, and secure off-street parking facilities, reduce traffic congestion and hazards, and assure the maneuverability of emergency vehicles by requiring appropriately designed off-street parking and loading areas in proportion to the needs generated by varying types of land use. The parking and loading requirements are also intended to protect existing and future neighborhoods from the effects of vehicular noise and traffic generated by adjacent nonresidential uses. These regulations shall supersede the requirements under Article IV, Section 9 of the Manchester Zoning Regulations unless otherwise indicated below.

26.07.02 General Access and Circulation Standards

Parking and circulation shall be designed to meet realistic demands within the FBZ while maximizing pedestrian safety, ease of traffic flow, access/egress, and minimizing the need for

impervious surfaces to maintain the visual character of the property and adjacent areas. General parking and circulation criteria are as follows:

- A. Parking shall be accessed by an access street or alley to the rear of the primary building unless otherwise allowed under these regulations.
- B. Parking shall not be located in the Frontage Zone. Where access to an off-street parking lot from a Primary Street is permitted, the parking lot shall be masked from the frontage by buildings or appropriate landscaping as specified in Section 26.08.
- C. The vehicular entrance to a parking lot shall be no wider than 24 feet.

26.07.03 Table of Required Parking Spaces

Where on-site or controlled parking is necessary and required, the applicant shall provide the required number of spaces as prescribed in Table 26.07 below. The required number of spaces shall be interpreted as both the minimum and maximum number of parking spaces allowed. Parking waivers or expansions may be permitted by the PZC as a Special Exception under Section 26.09.03.

Table 26.07 - Parking Standards in the FBZ	
Commercial and Civic Use	Required Parking
Retail Business, Commercial or Personal Service Establishment	1 space per 300 gross square feet
General Office or Retail in Mixed Use Buildings	1 space per 400 gross square feet
Medical or Dental Office or Clinic	5 spaces/doctor or dentist within a single office or suite
Restaurant or Place of Assembly	1 space for each 3 seats
Hotel or Motel	1 space per occupancy unit
Library, Museum, or other Civic Use	1 space per 500 gross square feet
Residential Uses	
Multi-Residential Building or Multiple Home Building	1/DU with 1 bedroom or less; and 2/DU with 2 bedrooms or more located within 300 feet of the Dwelling Unit ¹³
1-bedroom unit in Mixed-Use Building	1 space per bedroom
2-bedroom unit in Mixed Use Building	1 space per bedroom
3 or more bedroom unit in Mixed Use Building	1 space per bedroom

- A. Non-Defined Parking – Where uses and parking requirements are not defined in Table 26.07, the applicant shall provide an amount equal to fifty percent (50%) of the required spaces under Article IV, Section 9 of the Zoning Regulations. No additional parking shall be required for change of uses or the addition of accessory uses within existing buildings or on site. Outdoor café seating as an accessory use is not required to have additional parking.

¹³ Rev. 11/15/2021, effective 12/06/2021