

81 FITZGERALD DR #1

Location	81 FITZGERALD DR #1	Mblu	244/ 10/ 1/ /
Acct#	1543	Owner	ROSOW, DANIEL A
Assessment	\$1,132,200	Appraisal	\$1,132,200
PID	1322	Building Count	1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2025	\$1,132,200	\$0	\$1,132,200
Assessment			
Valuation Year	Improvements	Land	Total
2025	\$1,132,200	\$0	\$1,132,200

Owner of Record

Owner	ROSOW, DANIEL A	Sale Price	\$1,666
Co-Owner		Certificate	
Address	85 FELT RD, STE 504 WINDSOR, CT 06074	Book & Page	3299/598
		Sale Date	01/13/2025
		Instrument	38

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
ROSOW, DANIEL A	\$1,666		3299/598	38	01/13/2025
REAG BASS LLC	\$390,000		2987/0296	00	05/31/2017
HIGH STANDARD INC	\$1,180,000		2108/0960	00	02/09/2004
RAGGED EDGE REALTY	\$2,000,000		1219/0361	00	11/05/1987

Building Information

Building 1 : Section 1

Year Built:	1972
Living Area:	47,053
Replacement Cost:	\$1,383,137

Building Percent Good: 74
Replacement Cost
Less Depreciation: \$1,023,500

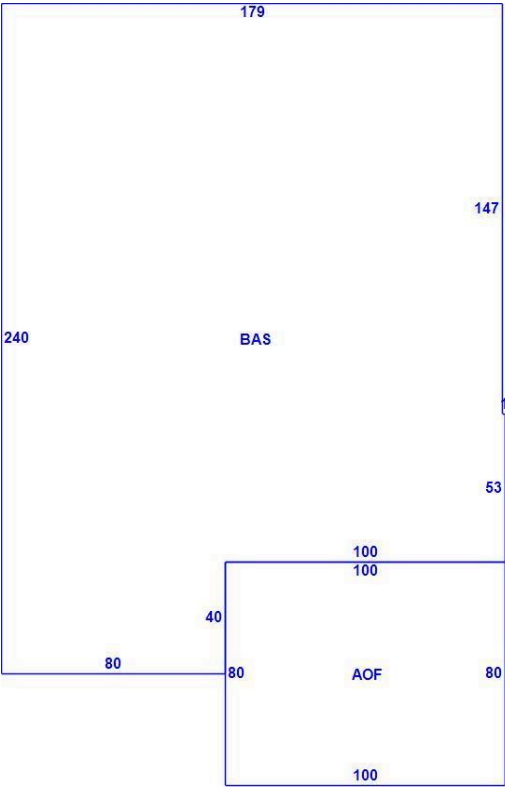
Building Attributes	
Field	Description
Style:	Indust Condo
Model	Com Condo
Stories:	1
Grade	Average
Occupancy	1
Interior Wall 1:	Minim/Masonry
Interior Wall 2:	Drywall/Sheet
Interior Floor 1	Concr Abv Grad
Interior Floor 2	
Heat Fuel:	Oil
Heat Type:	Hot Air-no Duc
AC Type:	None
Ttl Bedrms:	00
Ttl Bathrms:	2 Half baths
Ttl Half Bths:	0
Xtra Fixtres	
Total Rooms:	
Bath Style:	Modern
Kitchen Style:	
Kitchen Type	
Kitchen Func	
Primary Bldg Use	
Htwtr Type	
Atypical	
Park Type	
Park Own	
Park Tandem	0
Fireplaces	
Num Part Bedrm	
Base Flr Pm	
Num Park	
Pct Low Ceiling	
Unit Lochn	
Grade	Average
Stories:	1
Residential Units:	0
Exterior Wall 1:	Concr/Cinder

Building Photo



(<https://images.vgsi.com/photos/JaffreyNHPhotos/\00\00\47\44.jpg>)

Building Layout



(ParcelSketch.ashx?pid=1322&bid=1322)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	39,053	39,053
AOF	Office	8,000	8,000
		47,053	47,053

Exterior Wall 2:	Brick/Masonry
Roof Structure	Flat
Roof Cover	Asph/F GlS/Cmp
Cmrcl Units:	2
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Foundation	
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	
Grade	
Usrflid 703	0
Usrflid 706	0

Extra Features

Extra Features				<u>Legend</u>
Code	Description	Size	Value	Bldg #
SPR2	Sprinklers Concl.	8000.00 S.F.	\$17,800	1
A/C	Air Conditioning	8000.00 S.F.	\$11,800	1
SPR1	Sprinklers Wet	39053.00 S.F.	\$57,800	1
LDL2	Load Lvlr Manual	1.00 UNITS	\$700	1

Land

Land Use		Land Line Valuation	
Use Code	4021	Size (Acres)	0
Description	Ind. Condo	Frontage	0
Zone	IND	Depth	0
Neighborhood		Assessed Value	\$0
Alt Land Appr Category	No	Appraised Value	\$0

Outbuildings

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAV1	Paving Asphalt			27000.00 S.F.	\$20,300	1
SGN2	Sign 2 Side			10.00 S.F.&HGT	\$300	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$1,132,200	\$0	\$1,132,200
2023	\$1,207,400	\$0	\$1,207,400
2021	\$1,207,400	\$0	\$1,207,400

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$1,132,200	\$0	\$1,132,200
2023	\$1,207,400	\$0	\$1,207,400
2021	\$1,207,400	\$0	\$1,207,400